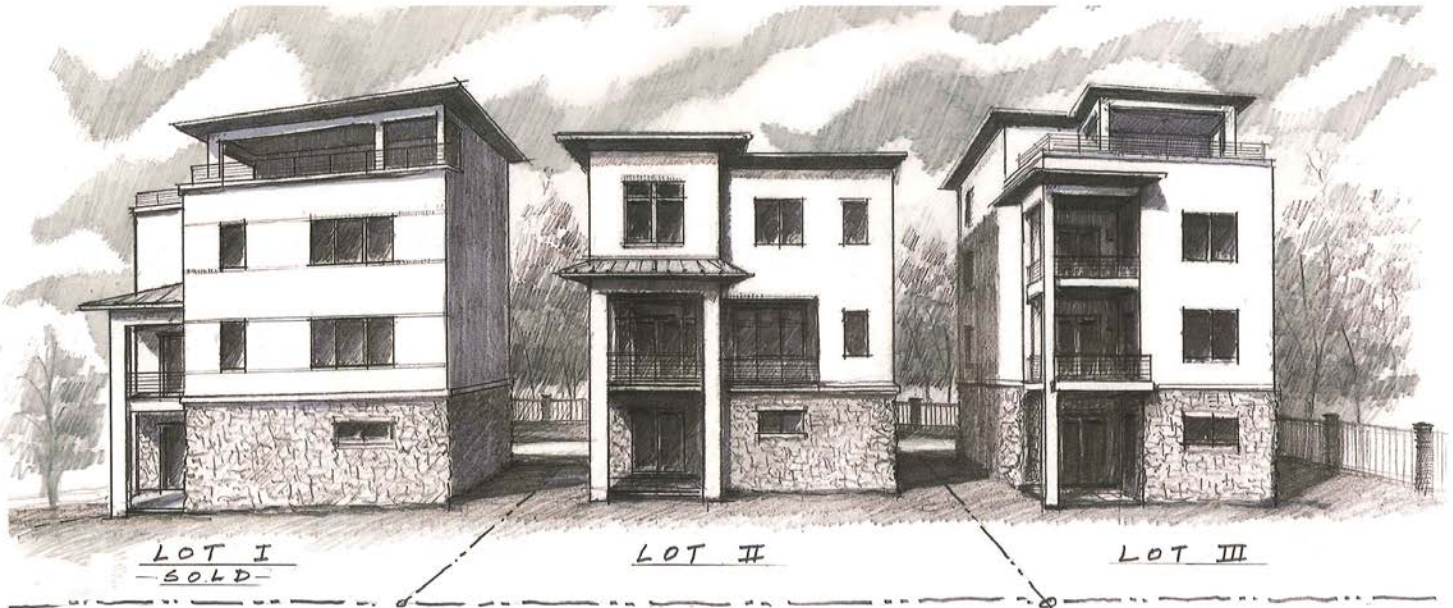


# Residential Lots / Greenville, SC



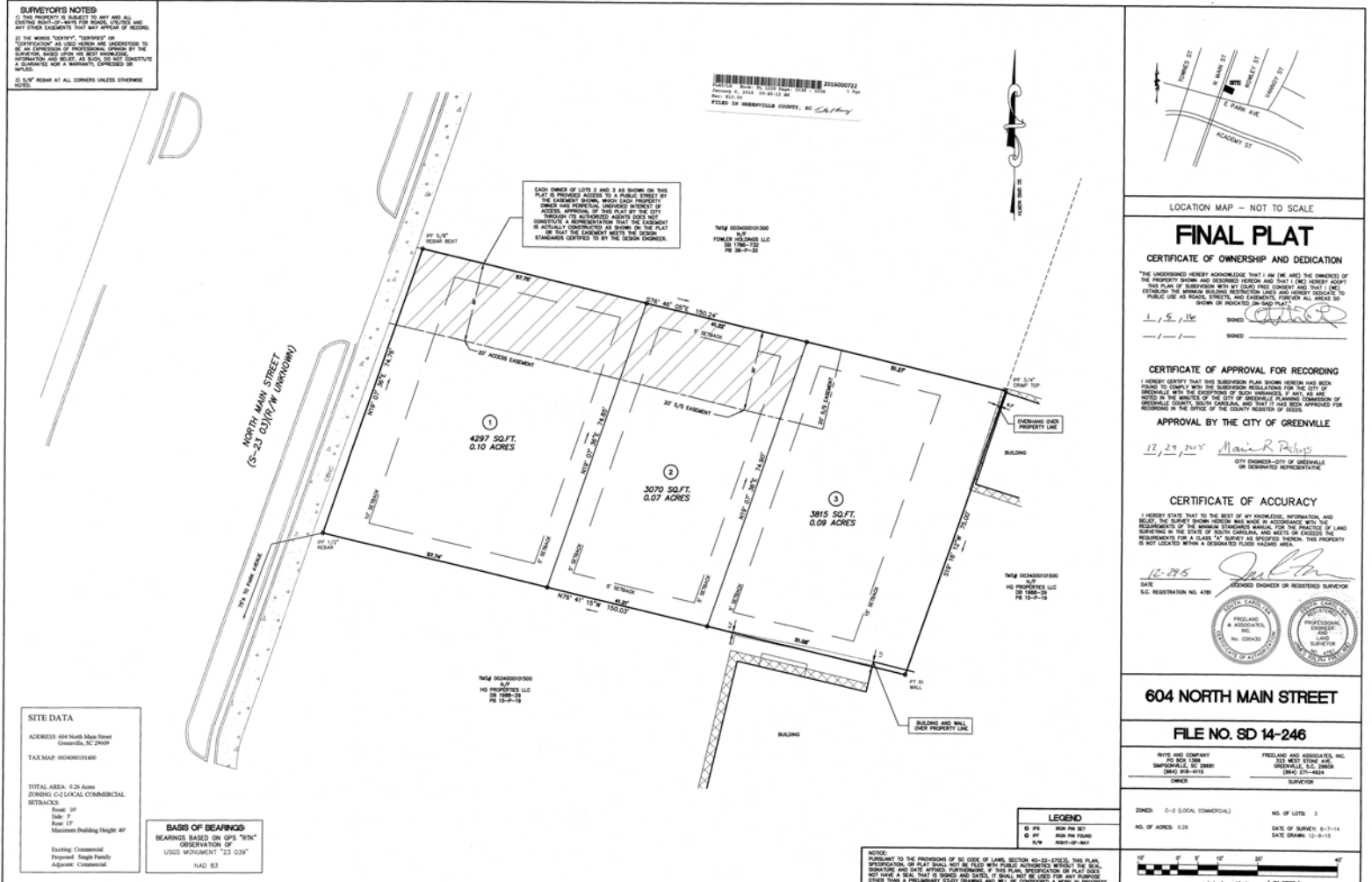
**CROFT**  
ARCHITECTURE

## Downtown Development Opportunity Available

**\$285,000/Parcel**

- Lot #1: 0034000101401
  - +/- 0.07 Acres
- Lot #2: 0034000101402
  - +/- 0.09 Acres
- C-2 Zoning





**SURVEYOR'S NOTES**  
 1) THIS PROPERTY IS SUBJECT TO ANY AND ALL DEEDS, EASEMENTS, ENCUMBRANCES, AND ANY OTHER DOCUMENTS ON FILE WITH THE REGISTER OF DEEDS.  
 2) THE WORDS "SHOWN", "SHOWN" OR "APPROXIMATE" AS SHOWN ARE UNDERSTOOD TO BE AN APPROXIMATION OF THE TRUE POSITION OF THE INFORMATION AND BEING AS SUCH, DO NOT CONSTITUTE A GUARANTEE FOR A WARRANTY, COVENANT, OR WARRANTY.  
 3) 5/8" BEAR AT ALL CORNERS UNLESS OTHERWISE NOTED.

EACH OWNER OF LOTS 2 AND 3 AS SHOWN ON THIS PLAT IS PROVIDED ACCESS TO A PUBLIC STREET BY THE EASEMENT SHOWN, WHICH EACH PROPERTY OWNER HAS HERETOFORE ENJOYED PRIVATELY. ACCESS APPROVAL OF THIS PLAT BY THE CITY ENGINEER IS AUTHORIZED AS LONG AS THE EASEMENT IS ACTUALLY CONSTRUCTED AS SHOWN ON THE PLAT OR THAT THE ENGINEER WANTS THE EASEMENT STANDARDS CONFIRMED BY THE DESIGN ENGINEER.



**FINAL PLAT**  
 CERTIFICATE OF OWNERSHIP AND DEDICATION

THE UNDERSIGNED HEREBY ACKNOWLEDGE THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HERETOFORE DEPOSITED THIS PLAT OF SUBDIVISION WITH THE REGISTER OF DEEDS AND THAT I (WE) EXTEND TO THE PUBLIC THE NECESSARY PERMISSIONS AND CONSENTS NECESSARY TO PUBLIC USE AS ROADS, STREETS, AND EASEMENTS, FOREVER ALL AREAS SO SHOWN OR INDICATED ON THIS PLAT.

1, 5, 156 SIGNED: *[Signature]*  
 1/1/18 SIGNED:

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I HEREBY CERTIFY THAT THIS SUBDIVISION PLAN SHOWN HEREON HAS BEEN REVIEWED BY THE CITY ENGINEER IN ACCORDANCE WITH THE CITY OF GREENVILLE PLANNING COMMISSION OF GREENVILLE COUNTY, SOUTH CAROLINA, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER OF DEEDS.

**APPROVAL BY THE CITY OF GREENVILLE**  
 12/29/17 *[Signature]*  
 CITY ENGINEER - CITY OF GREENVILLE OR DESIGNATED REPRESENTATIVE

**CERTIFICATE OF ACCURACY**  
 I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MAPS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF SOUTH CAROLINA, AND THAT I HEREBY DEDICATE THE INSTRUMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.

12/29/17 *[Signature]*  
 DATE: 12/29/17 REGISTERED ENGINEER OR REGISTERED SURVEYOR  
 S.C. REGISTRATION NO. 4781



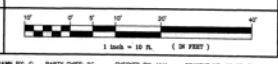
**604 NORTH MAIN STREET**

**FILE NO. SD 14-246**

PHYSICIAN AND COMPANY  
 303 WEST STONE AVE.  
 GREENVILLE, S.C. 29601  
 OWNER

FREELAND AND ASSOCIATES, INC.  
 303 WEST STONE AVE.  
 GREENVILLE, S.C. 29601  
 SURVEYOR

ZONES: C-2 (LOCAL COMMERCIAL) NO. OF LOTS: 3  
 NO. OF ACRES: 0.33 DATE OF SURVEY: 8/1-14  
 DATE DRAWN: 12/8/17



**SITE DATA**  
 ADDRESS: 604 North Main Street  
 Greenville, SC 29601  
 TAX MAP: 004800003480  
 TOTAL AREA: 0.33 Acres  
 ZONING: C-2 LOCAL COMMERCIAL  
 RETRACTIONS:  
 Front: 30'  
 Side: 5'  
 Maximum Building Height: 40'  
 Existing Commercial  
 Proposed: Single Family  
 Adjacent: Commercial

**BASES OF BEARINGS**  
 BEARINGS BASED ON GPS "RTK"  
 OBSERVATION OF  
 USGS MONUMENT "23 030"  
 NAD 83

**LEGEND**  
 @ PR: ROW PER SET  
 @ PP: ROW PER FOUND  
 @ RW: ROW PER FOUND  
 @ SP: ROW PER FOUND

**NOTICE:**  
 PURSUANT TO THE PROVISIONS OF 8C CODE OF LAWS, SECTION 40-22-210(C), THIS PLAN, INSTRUMENTATION, PLAT, IS BEING FILED WITH THE REGISTER OF DEEDS. THIS PLAN, INSTRUMENTATION, PLAT, IS BEING FILED WITH THE REGISTER OF DEEDS. THIS PLAN, INSTRUMENTATION, PLAT, IS BEING FILED WITH THE REGISTER OF DEEDS. THIS PLAN, INSTRUMENTATION, PLAT, IS BEING FILED WITH THE REGISTER OF DEEDS. THIS PLAN, INSTRUMENTATION, PLAT, IS BEING FILED WITH THE REGISTER OF DEEDS.



